



M. Angela Foraker
Executive Director, Strategy, Sourcing, & Support

To: All Service Providers
From: M. Angela Foraker, Executive Director
Strategy, Sourcing, & Support
Date: November 4, 2022
Re: Addendum #1 for ITB 21368 – MetroHealth Clinic Upgrades at Clara Westropp, Mound, and Glenville

Chief Executive Officer

Eric S. Gordon

Board of Education

Anne E. Bingham
Board Chair

Robert M. Heard Sr.
Vice Chair

Louise P. Dempsey, Esq.

Sara Elaquad, J.D.

Denise W. Link

Nigamanth Sridhar, Ph.D.

Lisa Thomas, Ph.D.

Kathleen C. Valdez, Esq.

Ex Officio Members

Alex Johnson, Ph.D.

Laura Bloomberg, Ph.D.

This Addendum shall hereby be and become a part of the Contract Documents the same as if originally bound thereto.

Each proposer shall acknowledge receipt of the Addendum in your proposal response. **Failing to acknowledge this Addendum on the Addendum Acknowledgement Form may cause the response to be rejected.**

This Addendum #1 reflects the following:

- Walkthrough Date
- Bid Due Date Extension
- Responses to Questions

Walkthrough Date: November 9, 2022 at 2:00 PM

Starting at Glenville High School, 650 E. 113th Street, Cleveland, Ohio 44108

Followed by Mound School, 5935 Ackley Rd. Cleveland, Ohio 44105

Finishing at Clara Westropp School, 19101 Puritas Avenue, Cleveland, Ohio 44135

Extending ITB Due Date:

ORIGINAL ITB due date: November **9**, 2022 at 1:00 PM (EST)

REVISED ITB due date: November **16**, 2022 at 1:00 PM (EST)

REMINDER: Mailing of ITB responses are encouraged.
However, hand deliveries will only be accepted from:
12:00 PM to 1:00 PM on November 16, 2022.

1. Is this project prevailing wage?

Yes

2. Is there another completion date other than April 1, 2023?

Yes, May 26, 2023.

3. Hours of operations?

Clara Westropp	7:35 am – 2:05 pm
Glenville	8:00 am – 3:05 pm
Mound	8:35 am – 3:05 pm

The custodians are required to be onsite during construction. Therefore, contractors are required to report work hours at the start of the job.

4. What is the floor to deck height at each school?

Glenville 12'0" with a 3.5" concrete slab
Mound 13'4" with a concrete slab on metal decking on bar joists
Clara Westropp 11'4": with a concrete slab on metal decking on bar joists

5. Which buildings are sprinklered?

Glenville – No
Mound – Yes
Clara Westropp - No

6. Can one superintendent manage all three school projects?

Yes

7. Which schools have basements?

Glenville – Yes
Mound – No
Clara Westropp - Partial

8. Can deliveries be received at the school when the contractor is not on site?

All deliveries should be coordinated with the custodian. However, we do not encourage deliveries to the school without the contractor on site.

9. Are workers required to provide an FBI and BCI background checks?

Yes, both are required. This can be done at the CMSD East Professional Center located at 1349 E. 79th St., Cleveland, OH. Hours of operations will be listed within a link that will be provided to the successful bidder. Please provide a cashier's check, money order or debit card for \$47.25. The results will be available 30 days from filing. The phone number for Safety & Security is 216/838-0467, if you have any questions.

10. On the equipment/furniture plan (A4.0), elevation marker A4/A5.0 is used at the Check In Work Area. That elevation is labeled Staff Break Room and the layout/elevation do not match. What are the casework requirements for this room(Clara Westropp)?

See Sheets A4.0 and A5.0 for Revisions

11. Where is elevation B1/A5.0 used(Clara Westropp)?

See Sheets A4.0 and A5.0 for Revisions

12. Elevation A3 for Triage/Intake does not match the floor plan layout. What are the casework requirements for this room(Clara Westropp)?

See Sheets A4.0 and A5.0 for Revisions

13. Elevation A1/A5.0 does not match the floor plan. The floor plan shows 4 base and 4 wall cabinets, the elevation shows 2 base and 1 wall cabinet. Which is correct(Clara Westropp)?

See Sheets A4.0 and A5.0 for Revisions

14. The layout for Intake Triage (2/A4.0) and the elevations (C1 & A4/A5.0) do not match. What are the casework requirements for this room(Mound)?

See Sheets A4.0 and A5.0 for Revisions

15. In Check-In 101, the floor plan shows what appears to be a tall cabinet with one base & one wall cabinet next to it. The elevation (A1/A5.0) shows two base and one wall cabinet. Which is correct(Glenville HS)?

See Sheets A4.0 and A5.0 for Revisions, two base and one wall cabinets

16. Is any casework required in Staff Workroom 111? If so, please provide an elevation(Glenville HS).

No, only counters per detail on sheet A5.0

17. Can we visit the site?

Yes, November 9, 2022

18. Will the furniture be provided by others?

See notes

19. What is the hexagon symbol on proposed floor plan drawing(Clara Westropp)?

See Sheet A2.0 for notes

20. Glenville HS - Drawing A1.0 Exis/Demo Ceiling Plan - What are notes 6 and 7 indicate?

See Sheet A1.0 for notes

21. If countertops are screwed it is easy to remove. If it is glued it sometimes cannot be salvaged. Will it be considered a CO if we have to replace countertop?

Architect will decide at time of demo

DEMOLITION GENERAL NOTES:

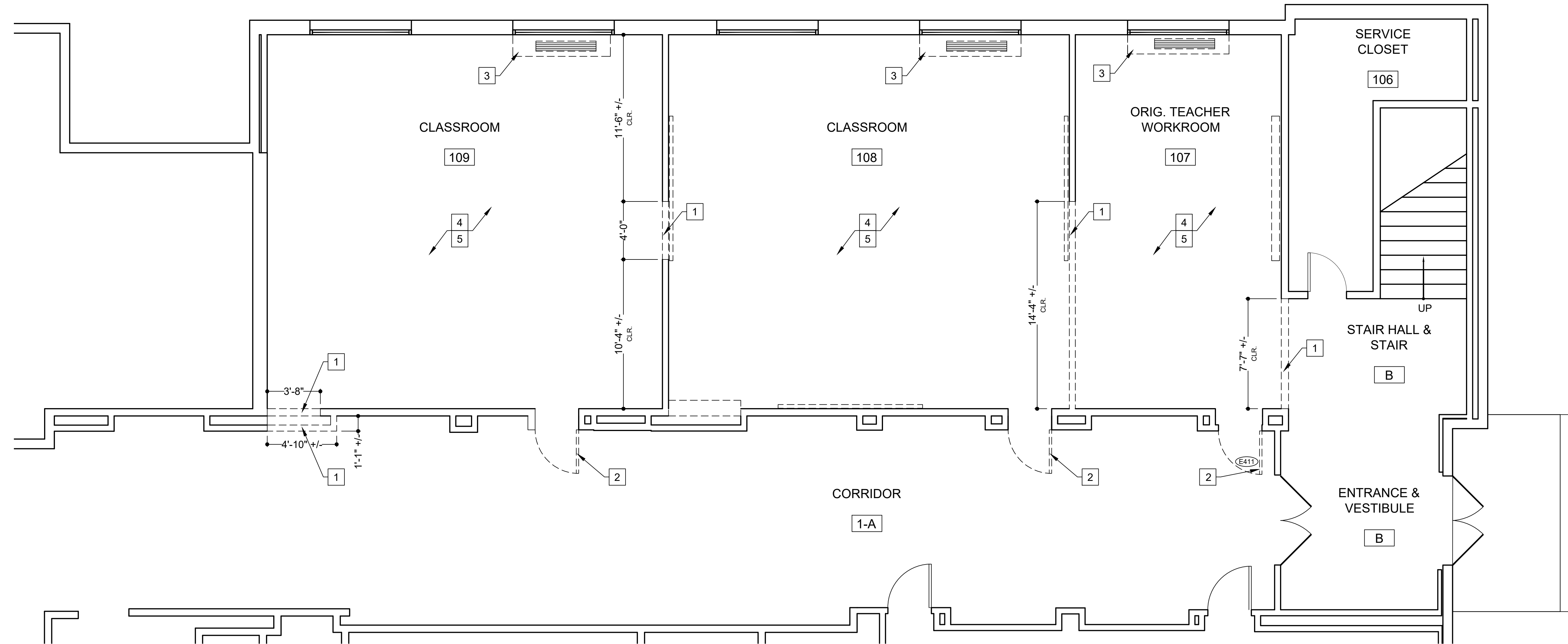
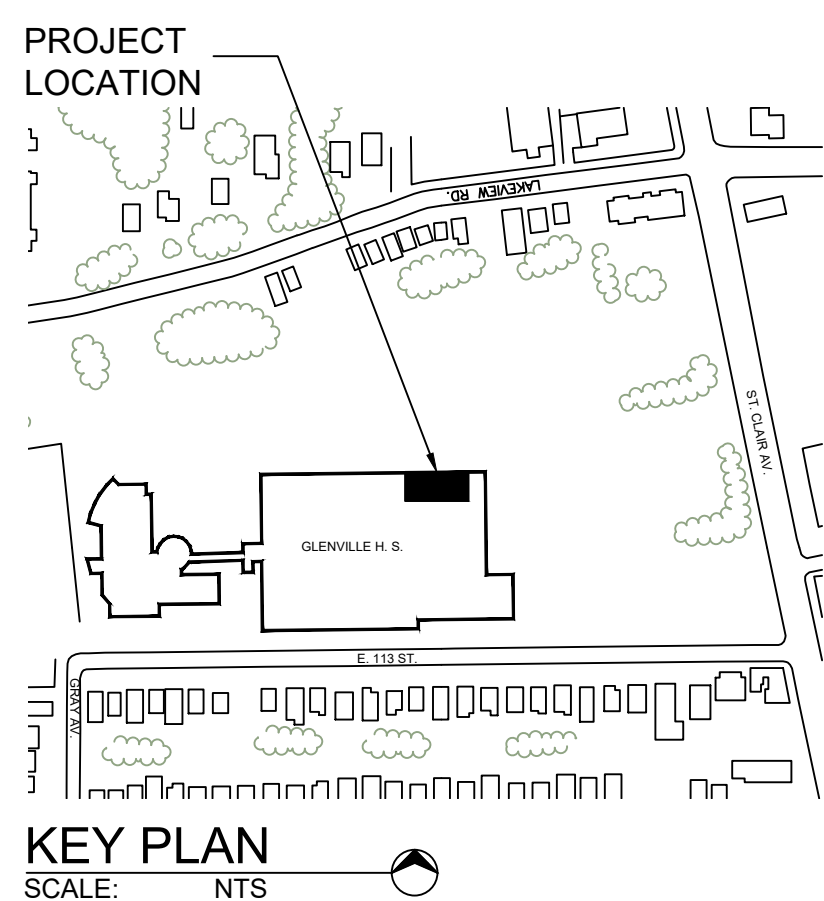
- SEE FLOOR PLAN GENERAL NOTES ON SHEET A1.1 FOR DESCRIPTION OF REFERENCE "ORTHO LINE".
- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
- EXISTING FIRE ALARM OR SPRINKLER MONITORING SYSTEM: MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS ACCEPTED. DISABLE SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. NOTIFY AND OBTAIN PERMISSION FROM LANDLORD AND LOCAL FIRE SERVICE IN ADVANCE IN ACCORDANCE WITH AHJ REQUIREMENTS BEFORE PARTIALLY OR COMPLETELY DISABLING SYSTEM. MINIMIZE OUTAGE DURATION. MAKE TEMPORARY CONNECTIONS TO MAINTAIN SERVICE IN AREA ADJACENT TO WORK AREA.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT TENANT SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- ALL BUILDING SERVICES REQUIRED TO MAINTAIN BUILDING OPERATION OF OTHER AREAS SHALL BE MAINTAINED. BUILDING SERVICES IN FINISHED SPACES SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED. BUILDING SERVICES ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE REROUTED AND CONCEALED. THOSE BUILDING SERVICES THAT ARE INDICATED TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN THE FLOOR, WALL OR CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL SERVICES PRIOR TO REMOVAL AND DISCONNECTION INCLUDING ELECTRICAL, HVAC, PLUMBING, SECURITY, AND TELEPHONE/DATA FOR ADJOINING OCCUPIED SPACES.
- ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW FLOOR FINISHES. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.

WALL LEGEND

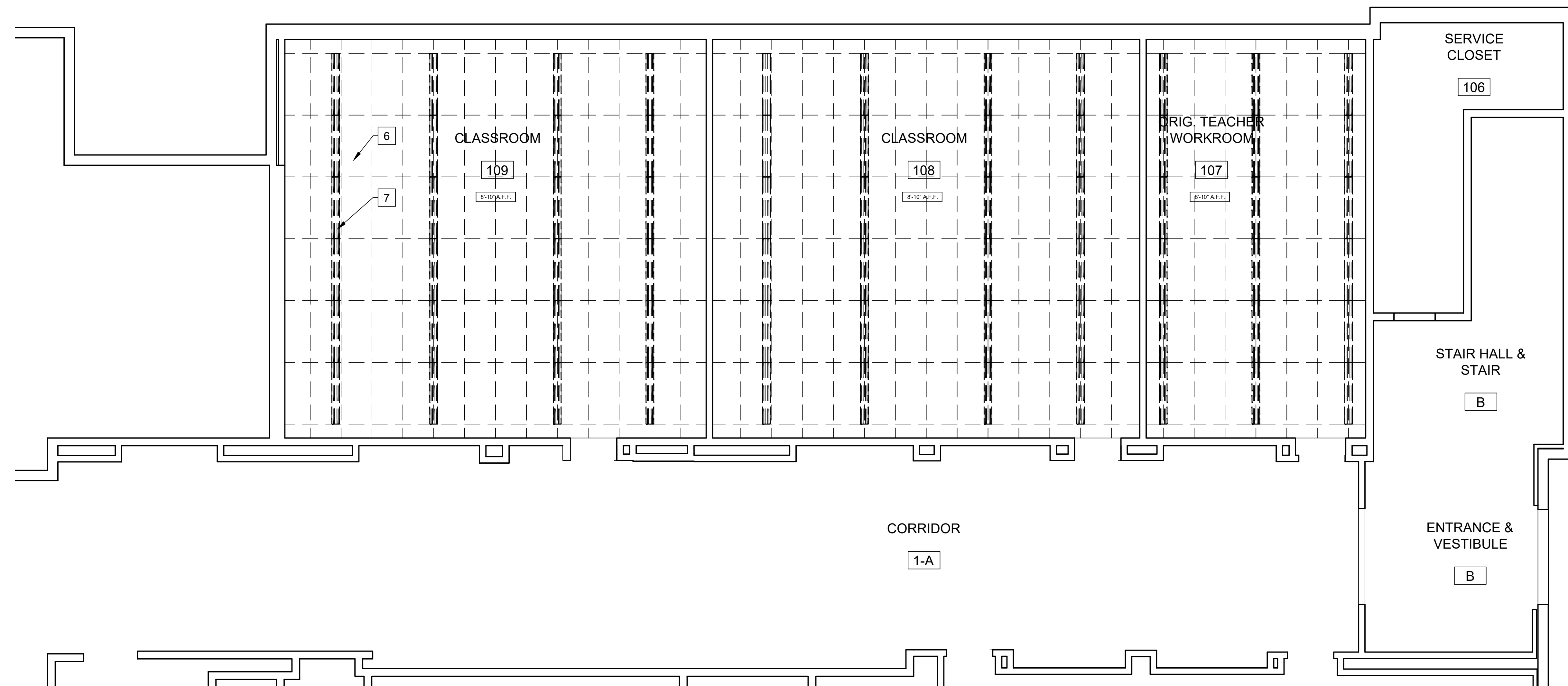
- EXIST. WALLS
- WALLS AND MILLWORK TO BE REMOVED

PLAN CODED NOTES:

- INDICATED BY
- REMOVE PORTION OF EXIST. INTERIOR MSY. WALLS TO CREATE A NEW OPNG.; PROVIDE STL. LINTELS AT EACH OPEN; SEE LINTEL SCHEDULE FOR SIZE
 - REMOVE EXIST. DOORS AND MTL. FRAME
 - REMOVE EXIST. THROUGH WALL A.C. / VENTILATOR
 - REMOVE
 - FLOORING
 - WALL BASE
 - ACOUST. CLG. TILES ETC.
 - ADHESIVE
 - CHALK/MARKER BOARDS
 - ACCESSORIES (CLOCKS, MIRRORS, FIRE EXTINGUISHERS)
 - AV TECH. EQUIPMENT
 - CMSD SHALL REMOVE ALL FURNISHINGS, DEHUMIDIFIERS, WALL MNTD. POSTERS, AND PAPERS
 - REMOVE ALL EXIST. CEILING TILES
 - REMOVE ALL SURFACE MOUNTED LIGHTING FIXTURES
- *SALVAGE ALL ACCESSORIES AND TECH. EQUIP.; CONTRACTOR TO REMOVE AND CMSD SHALL STORE



1
A1.0
EXIST. / DEMO. FLOOR PLAN
SCALE: 1/4" = 1'-0"

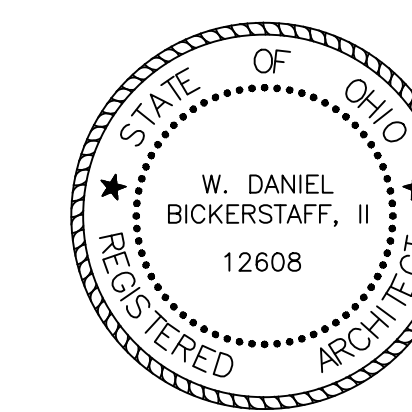


2
A1.0
EXIST. / DEMO. CEILING PLAN
SCALE: 1/4" = 1'-0"



Project Team:

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Expiration Date: December 31, 2023

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

GLENVILLE HIGH SCHOOL

Interior Alteration

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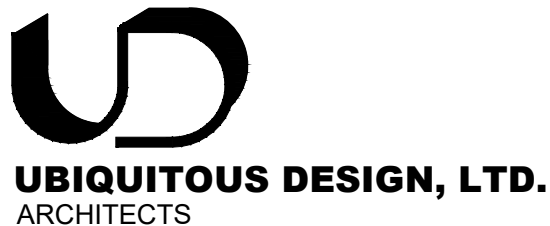
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Checked by	WDB, II

EXIST. / DEMO PLANS

Scale	Sheet
08.26.2022	A1.0

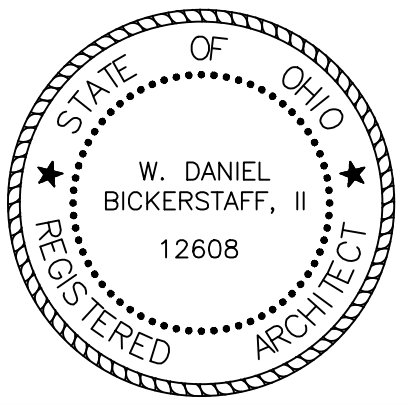
Project Team:

Architect



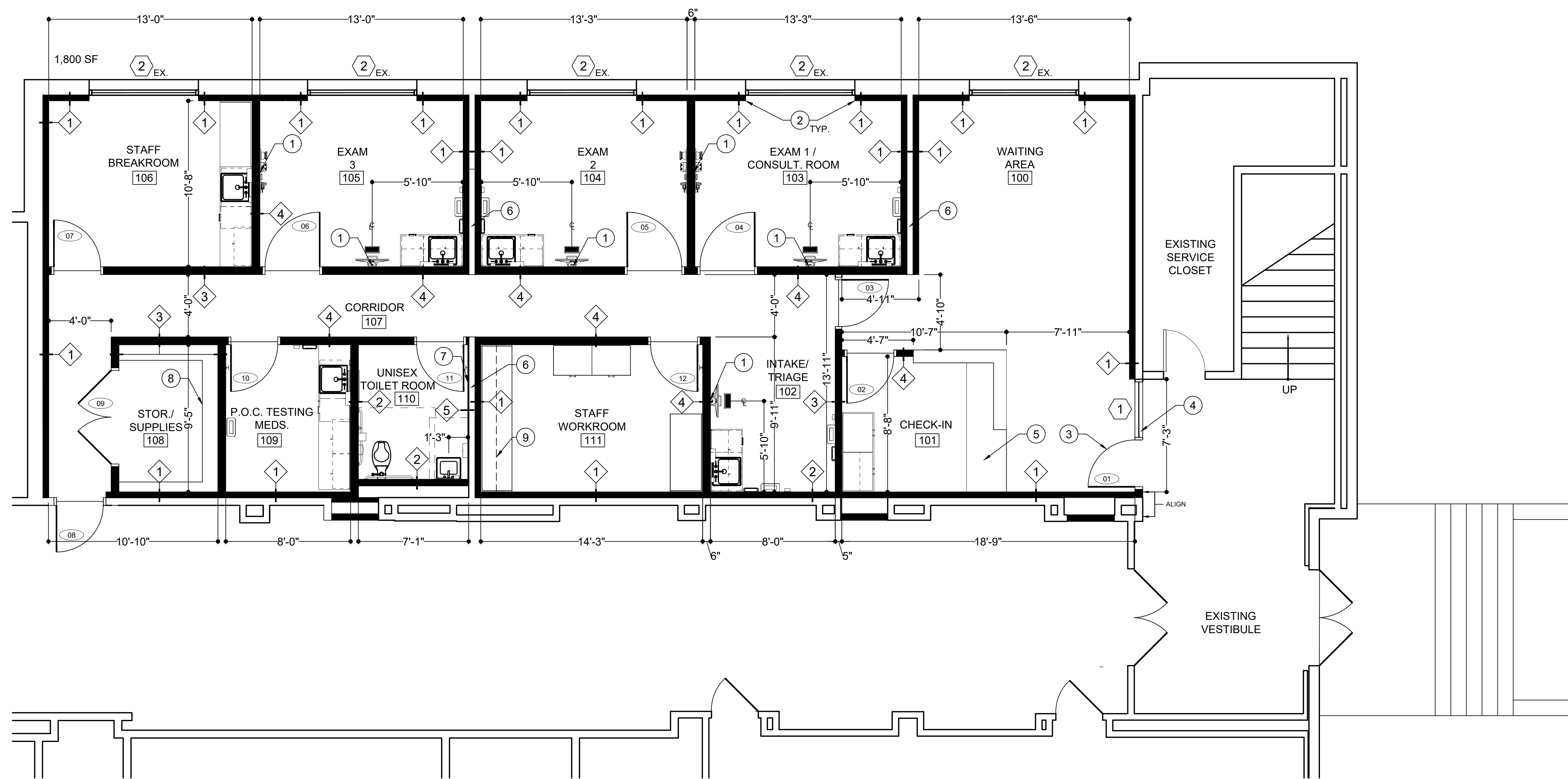
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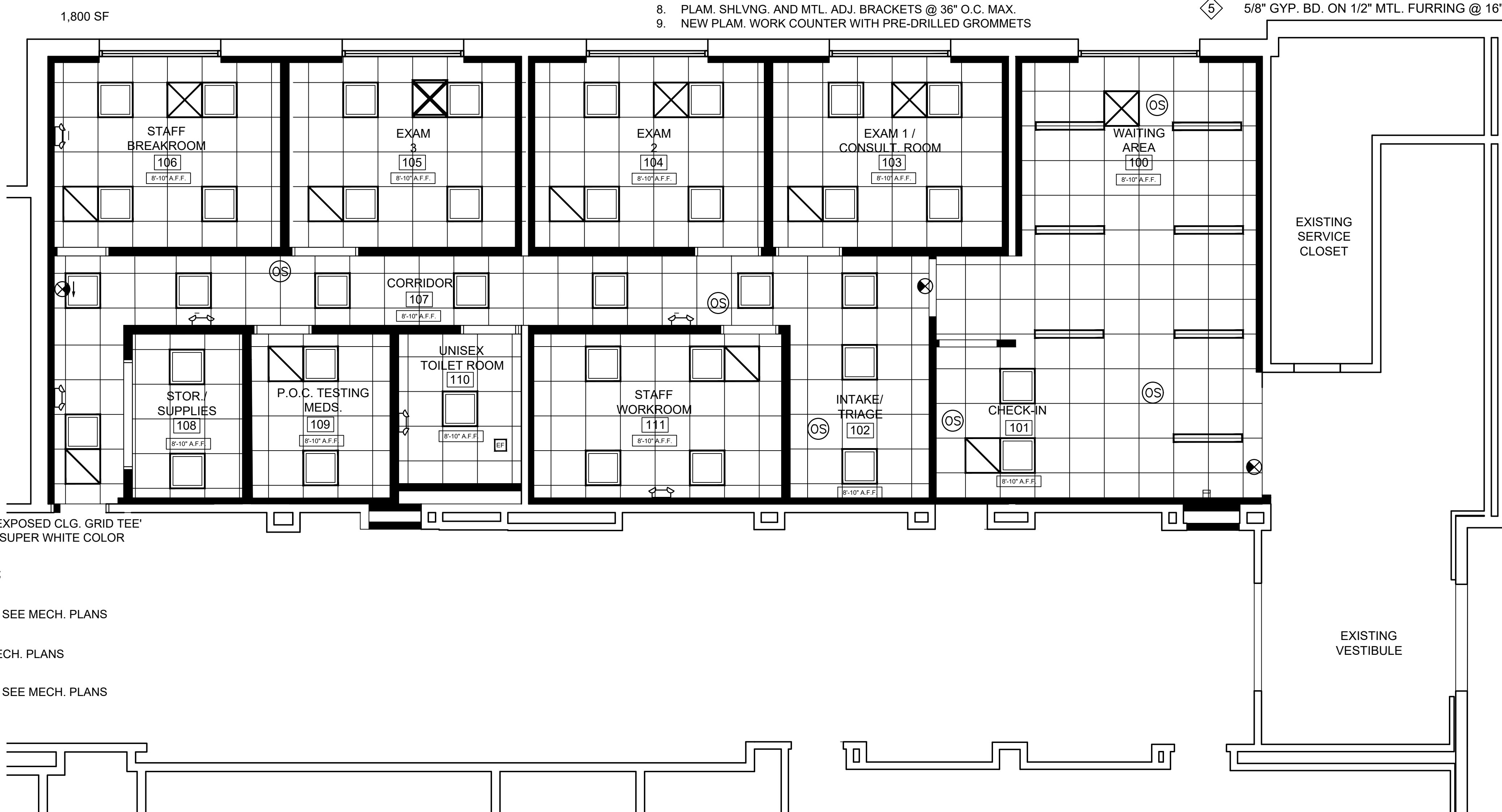
1
A2.0
PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN KEYED NOTES: INDICATED BY

1. PROVIDE BLOCKING FOR WALL MNTD. EQUIP. REFER TO INTERIOR ELEVATIONS ON SHEET AX.0
2. NEW WALL LOCATIONS SHOULD NOT CONFLICT WITH EXIST. WINDOW FRAME. VERIFY IN FIELD.
3. NEW CARD READER, MAG-LOCKS, DOOR RELEASE BUTTON, AND REX MOTION SENSORS FOR NEW DOORS. HARDWARE PROVIDED BY OWNER'S SECURITY CONTRACTOR.
4. NEW STOREFRONT GLAZING SYS.; TEMP. GLASS TO 18" AFF
5. NEW MILLWORK RECEPTION DESK
6. EXIST. MSY. WALL TO REMAIN
7. NEW GYP. BD. ON 1/2" MTL. FURRING ON EXIST. MSY. WALL
8. PLAM. SHLVNG. AND MTL. ADJ. BRACKETS @ 36" O.C. MAX.
9. NEW PLAM. WORK COUNTER WITH PRE-DRILLED GROMMETS

WALL TYPES

1. 5/8" GYP. BD. ON EA. SIDE OF 3-5/8" MTL. STUDS @ 16" O.C. W/ 3" SOUND INSUL.
2. 5/8" M.R. GYP. BD. ON WET. SIDE AND TYP. 5/8" GYP. BD. ON OPP. SIDE OF 3-5/8" MTL. STUDS @ 16" O.C. W/ 3" SOUND INSUL.
3. 5/8" GYP. BD. ON WET SIDE OF EXIST. MTL. STUDS @ 16" O.C. ADD 3" SOUND INSUL.
4. 5/8" GYP. BD. ON ONE SIDE OF 3-5/8" MTL. STUDS @ 16" O.C.
5. 5/8" GYP. BD. ON 1/2" MTL. FURRING @ 16" O.C.



2
A2.0
PROPOSED CEILING PLAN
SCALE: 1/4" = 1'-0"

LEGEND

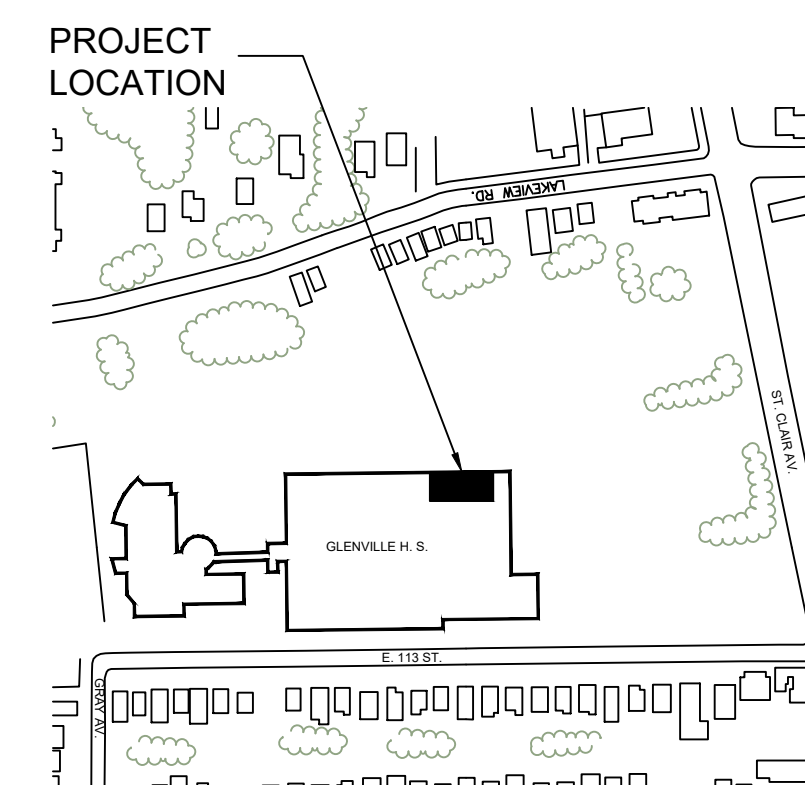
- NEW 2'x2' 15/16" WIDE EXPOSED CLG. GRID TEE FLUSH GRID SYSTEM. SUPER WHITE COLOR
- NEW 2'x2' LED LIGHT FIXTURE; SEE ELEC. PLANS
- NEW RETURN AIR REGISTER. SEE MECH. PLANS
- NEW SUPPLY GRILLE. SEE MECH. PLANS
- NEW RETURN AIR REGISTER. SEE MECH. PLANS
- EXHAUST FAN
- NEW SMOKE DETECTOR
- NEW EXIT LIGHT, SEE ELEC. PLANS
- NEW EMERGENCY LIGHT, SEE ELEC. PLANS
- NEW SMOKE DETECTOR
- INDICATES CEILING HEIGHT

GENERAL NOTES:

- I ALL WORK, ITEMS AND MATERIALS ARE **NEW** UNLESS PRECEDED BY THE WORD "EXISTING".
- II PATCHING- ALL EXISTING SURFACES DISTURBED BY RENOVATIONS. WALLS SHALL BE PATCHED TO MATCH EXIST. THEN APPLY NEW FINISHES.
- III SOUND- ALL PARTITIONS SHALL INCLUDE SOUND ATTENUATION BATTS AND EXTEND TO UNDERSIDE OF STRUCTURE.
- IV FURNISHINGS- BY OWNER.
- V EQUIP- PER PLAN.
- VI COMPUTERS- PER PLAN.
- VII TELEPHONES/DATA- PER OWNER
- VIII CEILINGS- NEW THROUGHOUT; PATCH, SEAL, CLOSE AND RELOCATE ITEMS AS REQUIRED.
- IX WALLS- PAINT.
- X FLOORS- NEW.
- XI POWER- AS REQUIRED BY PLAN.
- XII THE METHOD OF ATTACHMENT FOR ALL ITEMS THAT ARE TO BE SUSPENDED ARE TO BE SUSPENDED FROM THE FLR. STRUCT. ABOVE.
- XIV REFERENCE FINISH FLOOR AT 0'-0".
- XV REFER TO AX.X FOR PARTITION TYPES.
- XVI REFER TO AX.X FOR DOOR SCHEDULE.
- XVII THESE DRAWINGS HAVE BEEN COORDINATED WITH EXISTING CONDITIONS AS THEY ARE BELIEVED TO EXIST. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT/OWNER IN A TIMELY MANNER REGARDING ANY AND ALL DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL CONDITIONS.
- XVIII REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL WORK.
- XIX UPON COMPLETE REMOVAL OF EXIST. FLRNG. ARCHITECT AND OWNER TO PERFORM DETAIL REVIEW AND INSPECTION OF EXIST. SUBFLOOR
- XX NEW WALLS SHALL BE INSTALLED WITH THE INTENT OF PROVIDING ACCESS TO ALL EXIST. OUTLETS AND DEVICES IDENTIFIED AS EXIST. TO REMAIN.
- XXI REFER TO INTERIOR DRAWINGS FOR CASEWORK INFORMATION AND DIMENSIONS

TYPICAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, FIRE SAFETY CODES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE OHIO BUILDING CODE (OBC) AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). ANY CONFLICTS BETWEEN THE WORK INDICATED WITHIN THESE DOCUMENTS AND SAID CODES OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
2. MAKE ARRANGEMENTS 72 HOURS MINIMUM IN ADVANCE WITH THE OWNER FOR ANY INTERRUPTIONS OF UTILITY SERVICE.
3. EACH CONTRACTOR AND VENDOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS AND CLEARANCES PRIOR TO SUBMITTING A PROPOSAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
5. SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL APPLY. ANY SUCH CONFLICT SHALL BE REPORTED TO THE ARCHITECT.
6. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE STRUCTURE UNLESS SPECIFICALLY NOTED OTHERWISE.
7. THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS ANGLES AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE AFFECTED WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
8. INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
9. ALL LOOSE DEBRIS/TRASH SHALL BE DEPOSITED IN A COVERED TRASH RECEPTACLE OR REMOVED FROM THE SITE. NO LOOSE DEBRIS/TRASH SHALL BE LEFT ON ROOFS, SPACES OPEN TO AIRPORT OPERATIONS AREA (AOA), NEAR CONVEYANCE SYSTEMS, OR IN ANY OPEN TRASH CONTAINERS.
10. ALL CONTRACTORS AND SUBCONTRACTORS FOR THE WORK OF THIS CONTRACT SHALL BE PROPERLY LICENSED AND REGISTERED IN ACCORDANCE WITH THE REGULATIONS OF CLEVELAND, OHIO.
11. AT ALL TIMES WHEN WORK IS IN PROGRESS, A REPRESENTATIVE OF THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE ON SITE AND AUTHORIZED TO ANSWER QUESTIONS OR RECEIVE INSTRUCTIONS FROM THE OWNER OR ARCHITECT.
12. ALL UNUSED/ABANDONED FLOOR/WALL OPENINGS SHALL BE SEALED OR FIRE STOPPED.
13. DUE TO HEALTH RELATED REASONS, USE OF CHINESE-MADE GYPSUM WALLBOARD IS NOT PERMITTED TO BE USED ON THE PROJECT.
14. ALL "LOUD" WORK (CUTTING, CORING, SAWING, ETC.) WILL BE CONDUCTED AT NIGHT WHEN THE CONCOURSE IS NOT OCCUPIED BY PASSENGERS (AFTER 10PM, BEFORE 5AM)
15. PROVIDE LOCKS AT ALL CABINERY DOORS AND DRAWERS



KEY PLAN
SCALE: NTS

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

**GLENVILLE
HIGH SCHOOL**

Interior Alteration

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Health Care Expansion Program

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MEDICAL CENTER
2500 METROHEALTH DR.
CLEVELAND, OH 44109

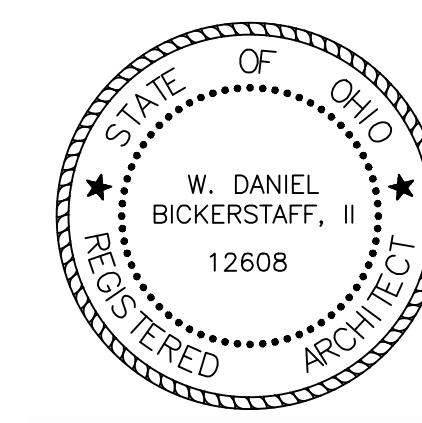
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X	
Public Dashboard EDUCATOR, Exec. Dir.	Date
Architectural Projects, Capital Projects	
Checked by	Date
DB	WDB, II

**PROPOSED
FLOOR AND CEILING
PLANS**

Date	Sheet
08.26.2022	A2.0

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GENERAL NOTES

- A. DO NOT SCALE DRAWINGS.
- B. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS-CHECK THE INTERIOR DRAWINGS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE ORDERING / INSTALLATION OF CASEWORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND INTERIOR DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION.
- C. COORDINATE THE INSTALLATION WITH OTHER TRADES AS REQUIRED TO ENSURE A NEAT AND ORDERLY INSTALLATION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE STARTING WORK.
- D. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS. INFORMATION REGARDING THE COMPLETE WORK IS DISPERSED THROUGHOUT THE DOCUMENT SET AND CANNOT BE ACCURATELY DETERMINED WITHOUT REFERENCE TO THE COMPLETE DOCUMENT SET.
- E. WHERE THERE MAY BE A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS, THEN THE MORE EXPENSIVE LABOR, MATERIALS AND EQUIPMENT SHALL BE ASSUMED TO BE REQUIRED AND SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE TENANT.
- F. WHEN WORK NOT SPECIFICALLY CALLED OUT, IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WITH THE BEST MATERIALS AND WORKMANSHIP.
- G. THE PROPER RECEIPT AND UNLOADING OF ALL NEW MATERIALS AND EQUIPMENT AT THE JOBSITE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SECURE AND SAFE STORAGE OF ALL MATERIALS AND EQUIPMENT WILL BE PROVIDED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL ADVISE ARCHITECT & OWNER OF ALL DAMAGED, DEFICIENT OR OVERSHIPMENTS OF OWNER SUPPLIED MATERIALS. GENERAL CONTRACTOR SHALL COMPLETE AND SUBMIT ALL NECESSARY PAPERWORK AND ARRANGE INSPECTIONS OF DAMAGED GOODS AND RETURN AS PER CONSTRUCTION REQUIREMENTS.
- H. FINISHES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION, WHERE DIRECTED IN THE SPECIFICATIONS.
- I. ENSURE THAT ALL SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- J. REFER TO ELEVATIONS FOR FINISHES THAT MAY NOT BE NOTED ON THE FINISH PLAN. TRANSITION IN FLOORING SHALL BE LOCATED AT CENTER OF DOOR OR OPENING UNLESS NOTED OTHERWISE (U.N.O.).
- K. PATCH, SMOOTH AND OTHERWISE PREPARE FLOOR SLAB AS REQUIRED FOR INSTALLATION OF FLOORING MATERIALS.
- L. PROVIDE RESILIENT BASE IN ALL FINISHED FLOORING AREAS UNLESS SCHEDULED OTHERWISE.
- M. DO NOT INSTALL FLOORING MATERIALS OVER EXPANSION JOINTS. PROVIDE EXPANSION JOINT COVERS.
- N. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISH INFORMATION.
- O. CORNER GUARDS TO BE PLACED ON ALL EXTERIOR GYPSUM BOARD CORNERS. REFER TO SPECIFICATION SECTION 10 26 00 FOR ADDITIONAL INFORMATION.
- P. PROVIDE TRANSITION AT ALL CHANGES IN FLOOR MATERIALS. UNO.
- Q. PATCH, SMOOTH AND OTHERWISE PREPARE FLOOR SLAB AS REQUIRED FOR INSTALLATION OF FLOORING MATERIALS.
- R. INSTALL A SOAP DISPENSER AND PAPER TOWEL DISPENSER AT EACH SINK.
- S. THE INTENT OF THESE ELEVATIONS IS TO SHOW LOCATIONS OF MAJOR INTERIOR ELEMENTS. ELEVATIONS MAY NOT SHOW ALL ITEMS IN ALL ROOMS.
- T. SEE TYPICAL MOUNTING HEIGHTS ON SHEET I-201. VERIFY MOUNTING HEIGHTS SHOWN FOR TOILET ACCESSORIES WILL ALLOW FOR FULL OPERATION OF UNITS. NOTIFY ARCHITECT OF ANY POSSIBLE DISCREPANCIES PRIOR TO INSTALLATION.
- U. SEE INTERIOR DETAILS FOR ADDITIONAL CASEWORK INFORMATION.
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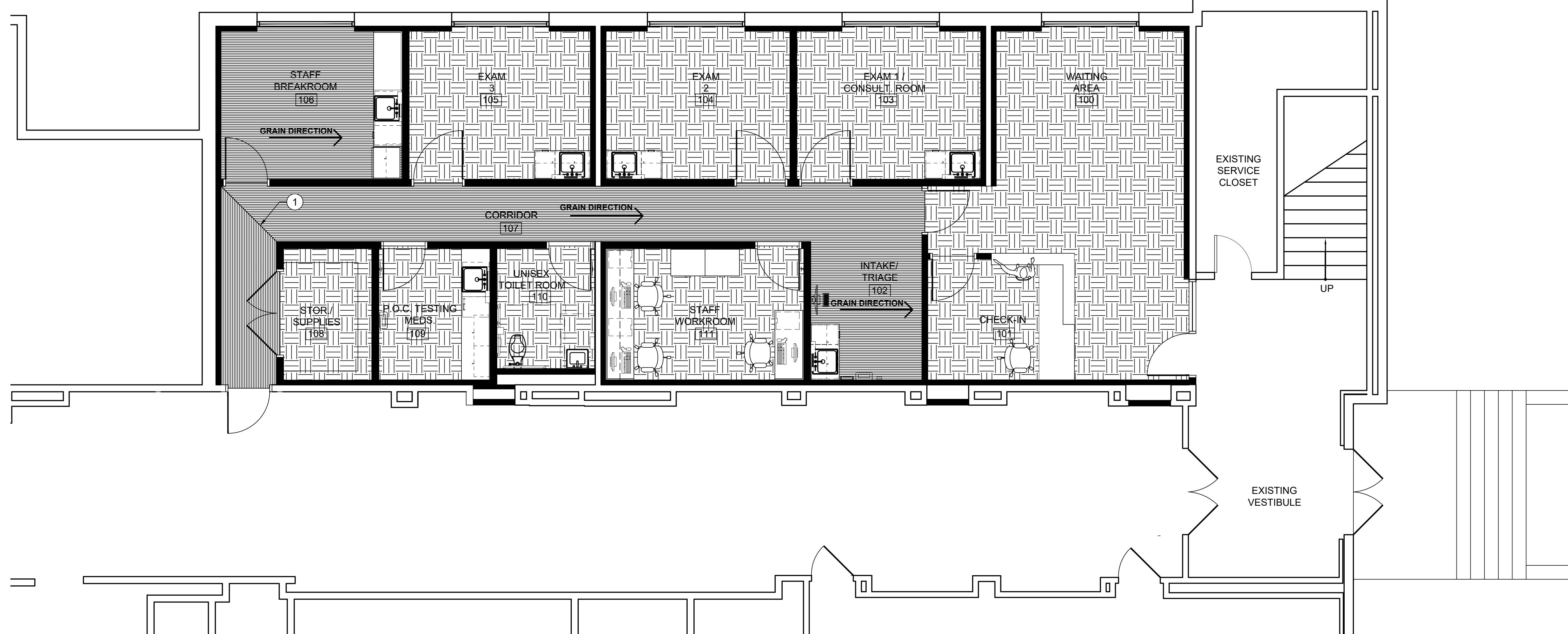
LEGEND

- SHEET VINYL (HEAT WELDED SEAMS)
- SV-1
 - SV-2

PLAN KEYED NOTES:

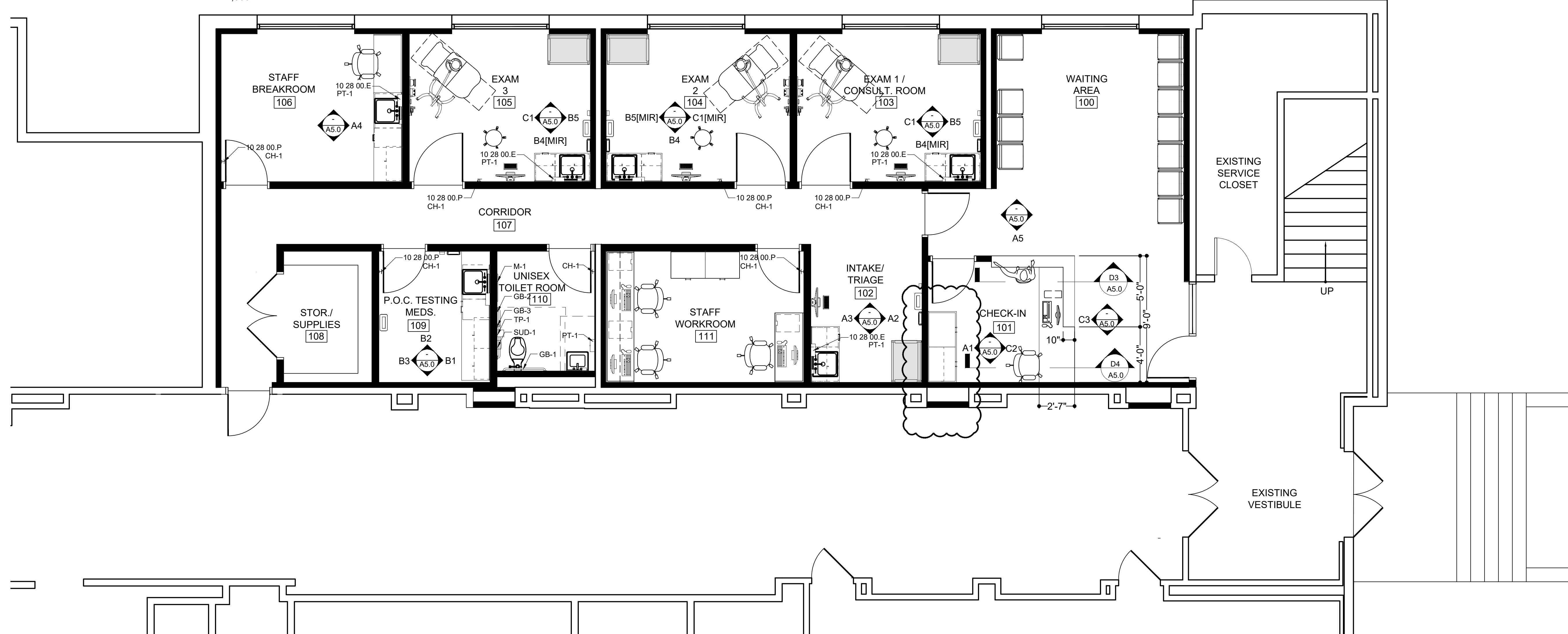
INDICATED BY ○

1,800 SF



1 FINISH FLOOR PLAN
A4.0 SCALE: 1/4" = 1'-0"

1,800 SF

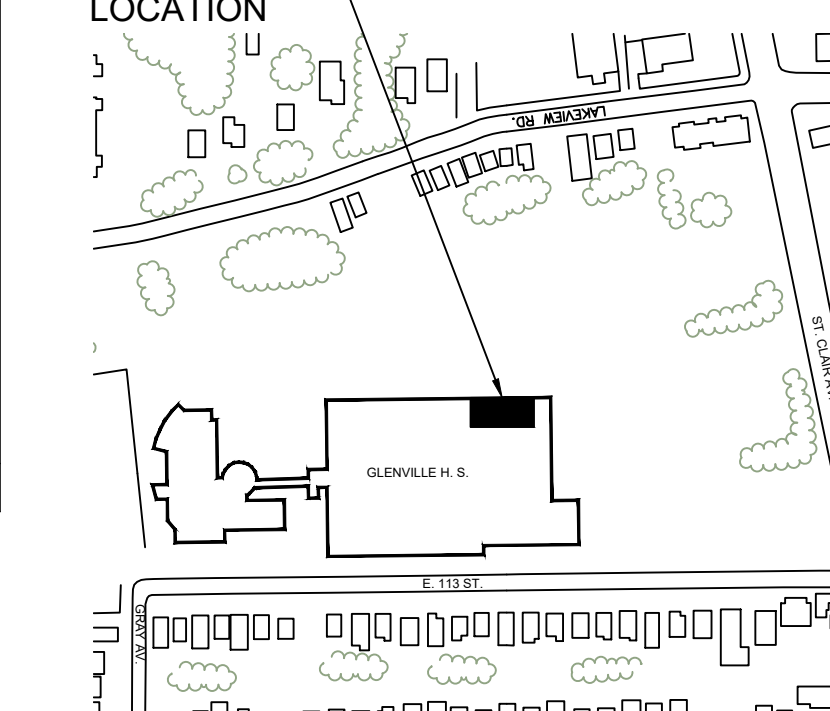


2 FURNITURE & EQUIPMENT PLAN
A4.0 SCALE: 1/4" = 1'-0"

ABBREVIATIONS

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 - GB-1 GRAB BAR, 36"
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 - GB-3 GRAB BAR, 18"
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 - PT-1 PAPER TOWEL DISPENSER
 - SUD-1 SANITARY UNIT DISPOSAL
 - TP-1 TOILET TISSUE DISPENSER
- P-X PAINT COLOR (09 91 23)
PL-X PLASTIC LAMINATE COLOR

PROJECT LOCATION



KEY PLAN

SCALE: NTS

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

**GLENVILLE
HIGH SCHOOL**

Interior Alteration

New MetroHealth
ODH
SBHC
Health Care Expansion Program

650 East 113th Street
Cleveland, OH 44108



MEDICAL CENTER
2500 METROHEALTH DR.
CLEVELAND, OH 44109

DATE APPROVAL

X

Public Defendant EDUCATOR, Exec. Dir.

Architectural Projects, Capital Projects

DB WDB, II

DATE

08.26.2022

08.26.2022

08.26.2022

08.26.2022

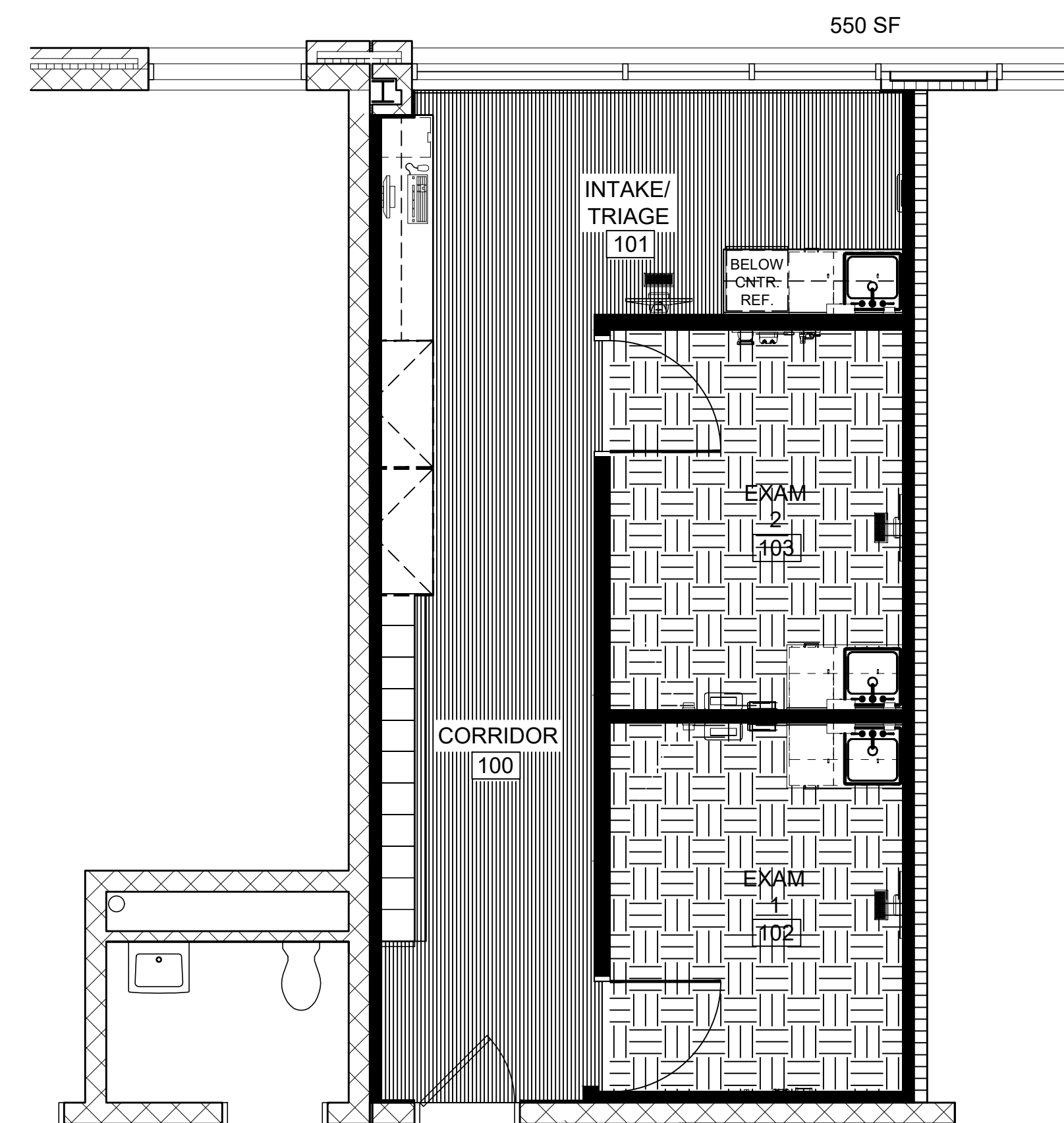
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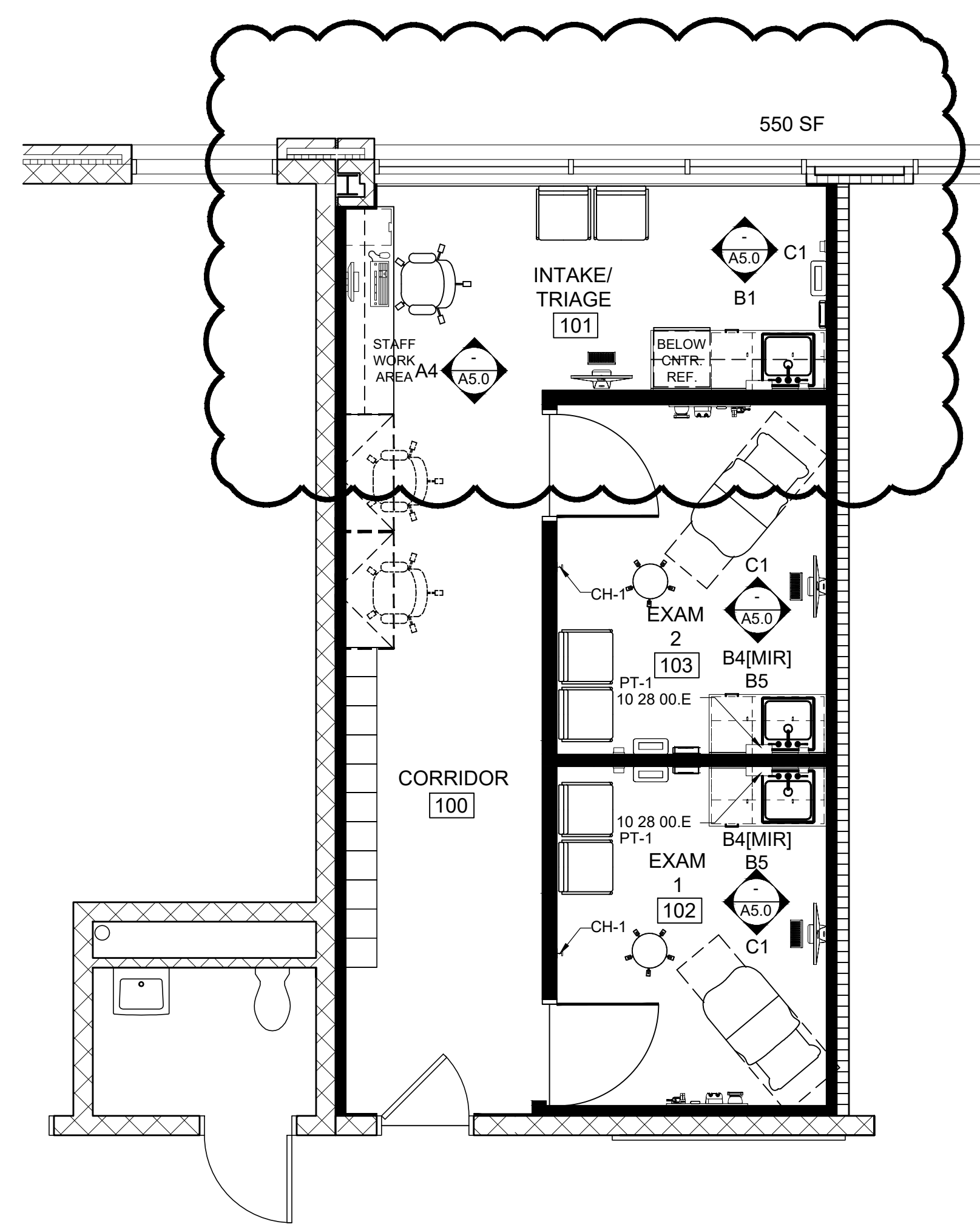
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**FINISHES AND
EQUIPMENT PLANS**

Scale: A4.0



1 FINISH FLOOR PLAN
 SCALE: 1/4" = 1'-0"

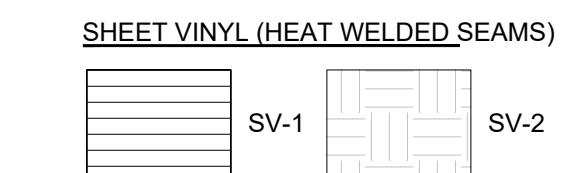


2 FURNITURE & EQUIPMENT PLAN
 SCALE: 1/4" = 1'-0"

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- C. COORDINATE THE INSTALLATION WITH OTHER TRADES AS REQUIRED TO ENSURE A NEAT AND ORDERLY INSTALLATION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE STARTING WORK.
- D. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS. INFORMATION REGARDING THE COMPLETE WORK IS DISPERSED THROUGHOUT THE DOCUMENT SET AND CANNOT BE ACCURATELY DETERMINED WITHOUT REFERENCE TO THE COMPLETE DOCUMENT SET.
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- N. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISH INFORMATION.
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LEGEND



PLAN KEYED NOTES: INDICATED BY ○

ABBREVIATIONS

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PROJECT LOCATION



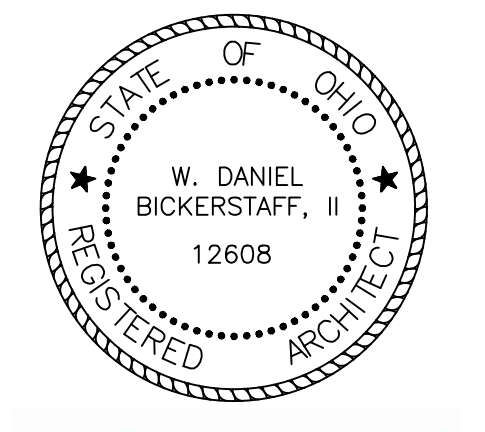
KEY PLAN
 SCALE: NTS



Project Team:

Architect
UBIQUITOUS DESIGN, LTD.
 ARCHITECTS

3443 LEE ROAD
 SHAKER HEIGHTS, OHIO 44120
 P: 216.702.8444 F: 216.702.9011 ARCHIT@UBDLO.COM



W. Daniel Bickerstaff, II
 W. Daniel Bickerstaff, II License No. 12608
 Expiration Date: December 31, 2023

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

MOUND ELEMENTARY SCHOOL

Interior Alteration

New MetroHealth
 ODH
 SBHC
 Health Care Expansion Program

5935 Ackley Road
 Cleveland, OH 44105



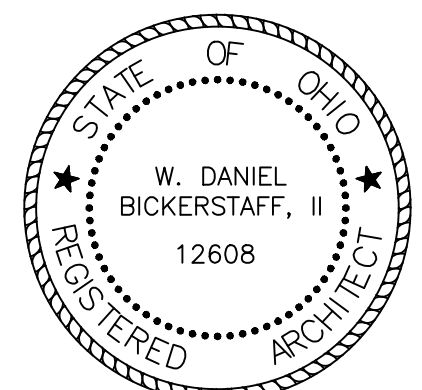
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Consultant Project # DB	Drawn by WDB, II

FINISHES AND EQUIPMENT PLANS

Date	Sheet
08.26.2022	A4.0

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Expiration Date: December 31, 2023

PRE-BID QUESTION RESPONSES WDB, II 11.04.2022
PERMIT ISSUANCE WDB, II 08.26.2022

ISSUED BY DATE
CLARA E. WESTROPP
ELEMENTARY SCHOOL

Interior Alteration

New MetroHealth
ODH
SBHC
Health Care Expansion Program

19101 Puritas Avenue
Cleveland, OH 44135



MEDICAL CENTER
2500 METROHEALTH DR.
CLEVELAND, OH 44109

DATE APPROVAL
 HODGE DELANEY EDUCATOR, EXEC. DIR.
Architectural Projects, Capital Projects Date
Checked by: DB WDB, II

**FINISHES AND
EQUIPMENT PLANS**

Scale: Sheet
Date: 11.04.2022 **A4.0**

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LEGEND

SHEET VINYL (HEAT WELDED SEAMS)

SV-1 SV-2

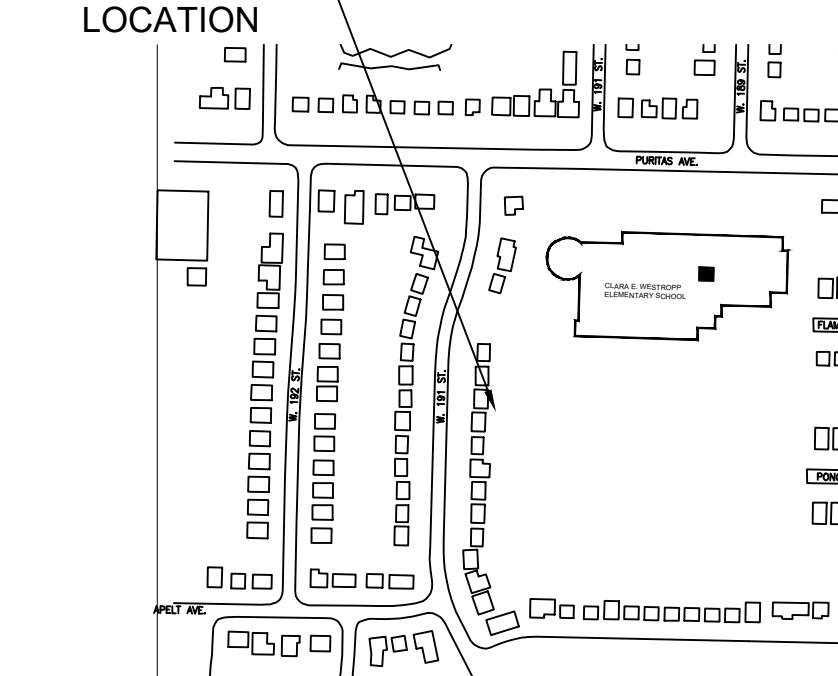
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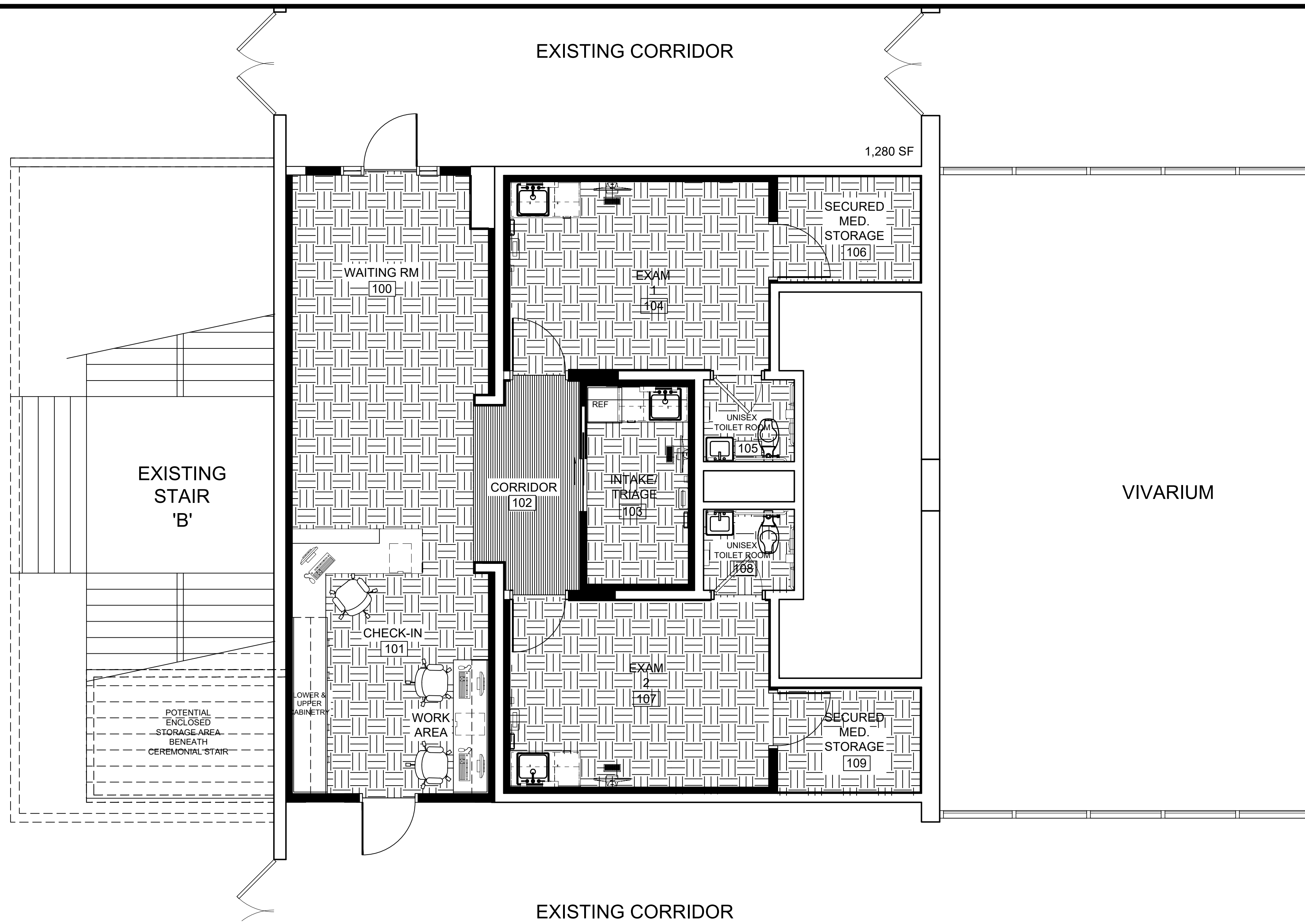


KEY PLAN

SCALE: NTS

1 FINISH FLOOR PLAN

A4.0 SCALE: 1/4" = 1'-0"



2 FURNITURE & EQUIPMENT PLAN

A4.0 SCALE: 1/4" = 1'-0"

